

GARDEN PARK  
GROVE

Estate Design Guidelines

# Garden Park Grove Estate Design Guidelines 2021

Garden Park Grove Estate takes great pride in the overall design and streetscape outcomes for the benefit of all residents. These Design Guidelines give residents confidence in knowing that there is a quality standard for all homes and landscaping in the Estate that aims to ensure the character of Garden Park Grove is achieved. There is a protection of personal and community investment, with a certainty of design outcome for all.

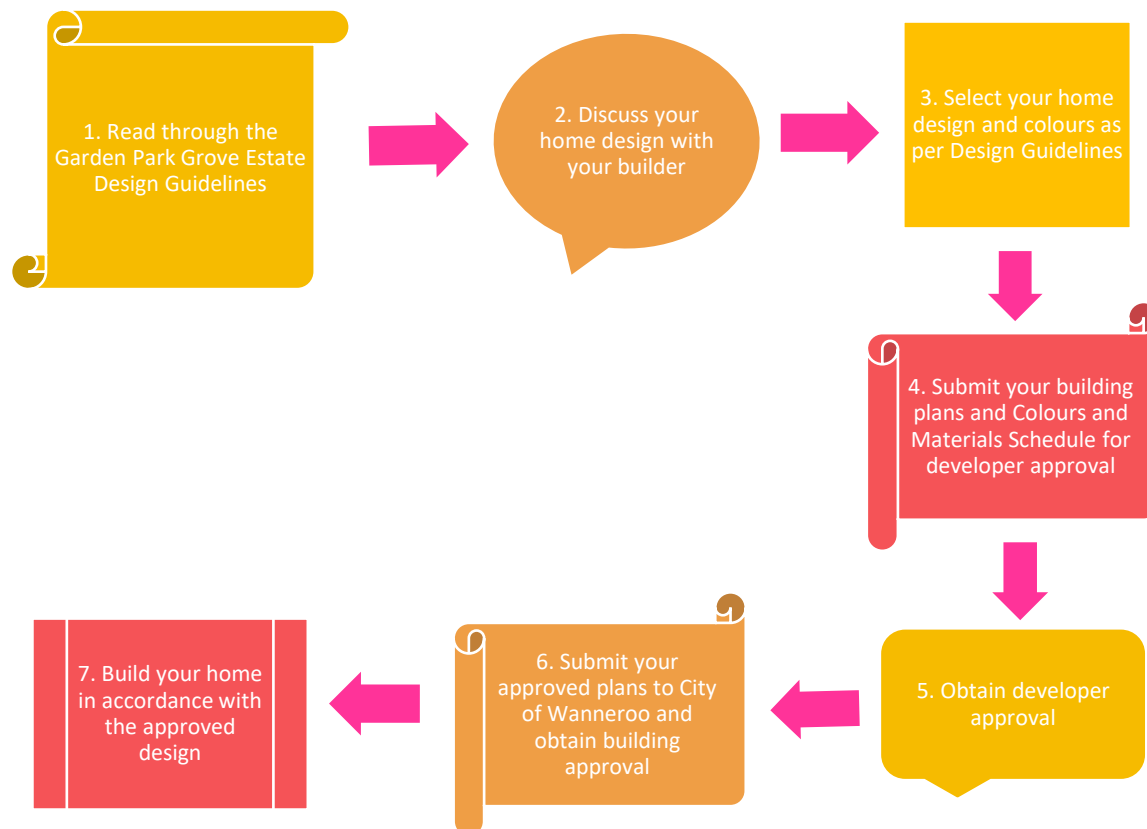
## How to use this document

Before designing your home and choosing your colour schemes, please read through this design guideline document with your chosen designer or builder to ensure the design, materials and colour requirements are achieved in your final house design.

- **Bold** text in these guidelines indicates a definition has been provided, refer to page 5.
- Where definitions are not provided in this document the definition in the current Residential Design Codes will apply.

Further provisions of the Residential Design Codes or other Statutory Planning Document may apply in addition to these requirements. All are subject to the interpretation and approval of relevant statutory authorities.

## Application Process



## Elevations

On **Primary Street** elevations, all the following will apply:

- Provide a minimum of 450mm of wall and corresponding roof articulation excluding any garage/store.
- Provide a minimum of two different wall colours or two different wall materials (e.g. two different painted render colours or predominantly cement render finish (minimum 70%) plus a feature material (maximum 30%) such as timber cladding, feature brick (excludes 2c face brickwork), wall tiling, stone cladding).
- Excluding the garage or store, a greater portion of the overhanging eaves shall be at a minimum course height of 28c.
- Overhanging **verges** to **gables** in lieu of **eaves** are acceptable (excludes **gambrels**).
- To create interest and shadow lines, where provided eaves and verges shall have a minimum wall overhang of 400mm.
- Parapet designs without eaves may be considered on merit but must include extended shading and height.

For **Corner Lots**, the following will apply:

- At least one of the colours / materials from the front elevation must return on secondary street elevations a minimum of 2.0m or to the wing fence location, whichever is greater.
- Provide at least one window opening that has a clear view of the secondary street setback area, i.e. forward of any return fencing.

## Colours and Materials

There are no specified wall and roof colour palettes in Garden Park Grove Estate, however bright or primary colours (including black) are not permitted.

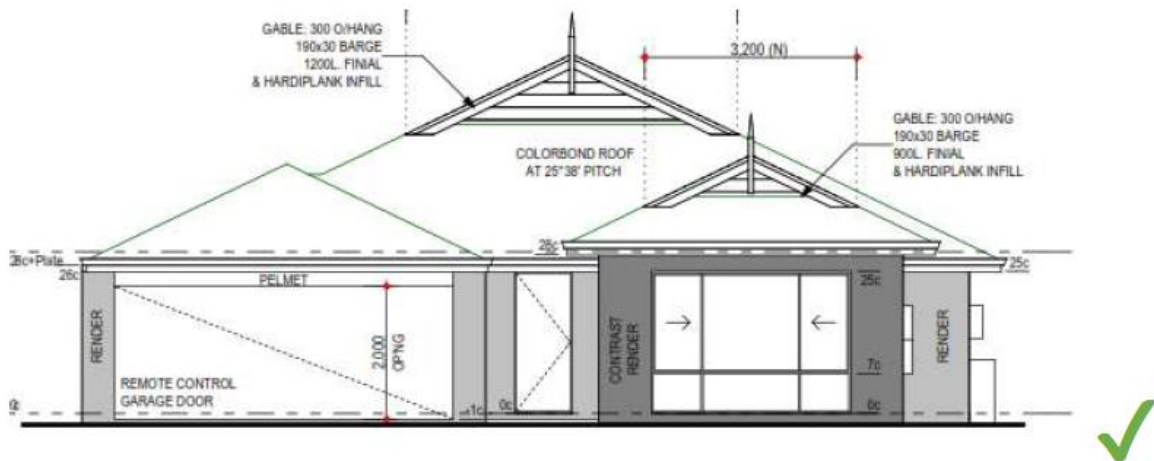
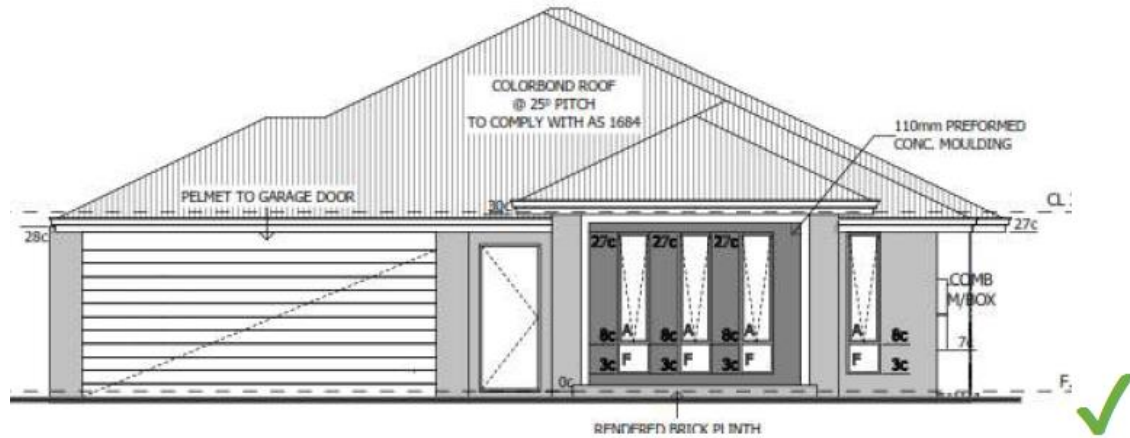
The Colours and Materials Schedule for submission can be found on page 6.

## Roof Form

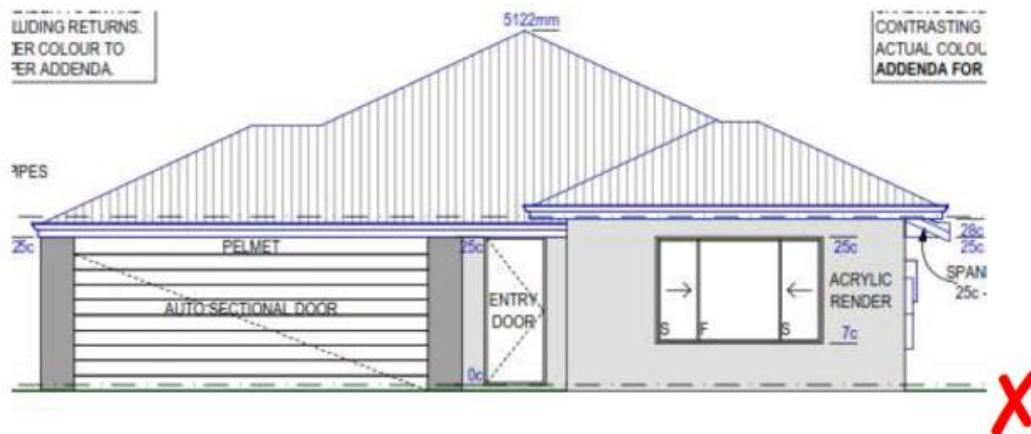
For the roof, all the following will apply:

- Pitched roofs are to be a minimum of 25°.
- Skillion roofs are to be at a minimum of 10° and, in all cases, have a minimum 300mm wall overhang.
- Small areas of flat roof are permitted where concealed from public view by a parapet wall or similar.

## Approved Examples



## Rejected Example



## Vehicle Parking and Storage Areas

For garaging, stores and the like on **primary** and **secondary streets**, the following will apply:

- Garage street setback to be a minimum of 0.5m behind a street front **habitable room** wall containing a window.
- Garages to be fully enclosed on all sides visible from the street frontage(s).
- Garages to match the construction and materials of the associated dwelling.
- Garages/stores and the like to have stepped front walls and roof (approx. 1.0m) where the overall width (piers and door) exceeds 6.5m i.e. triple garages, garages with storerooms.
- A dedicated refuse bin storage area must be provided concealed from street view. This can be within the garage provided that the minimum internal garage dimension required is maintained. The bin location should be noted on plans and be easily accessible, of a suitable size, and have hardstand/path facilitating access to the street.
- Boats, caravans, trailers, and commercial vehicles (trucks) must be stored behind the front building line of residence and screened from public view.

## Fencing

For fencing on **primary streets**, all the following will apply:

- No fencing to the primary street boundary line or truncation where applicable, unless installed by the developer.
- Wing fencing to be set behind the nearest corner of the dwelling by a minimum of 2.0m and at a maximum height of 1.8m.
- Wing fencing greater than 4m wide to be constructed of materials to compliment the house with 50% visually permeable infills 0.9m above ground level to a maximum height of 1.8m above ground level.

For fencing on **secondary streets**, all the following will apply:

- No fencing to the secondary street boundary forward of the **wing fence**, unless installed by the developer.
- Fencing to a maximum height of 1.8m for the remainder of the secondary street boundary can be installed, with a requirement for 1.5m solid panel with 0.3m permeable slats above.
- Wing fencing to be set behind the nearest front corner of the dwelling by a minimum of 2.0m and at a maximum height of 1.8m.

## Definitions

### **Corner Lot**

A lot with more than one intersecting street or P.O.S. boundary.

### **Course Height**

A height measured in standard 1c bricks above internal general slab datum level of oc and not any sunken areas.

### **Dividing Boundary Fence**

The fence on a cadastral boundary between two adjoining lots.

### **Eaves**

A roof overhang that provides shading to a wall face.

### **Elevation**

An external wall of any part of a dwelling facing a lot boundary.

### **Flat Roof**

Any roof less than an 8° pitch.

### **Gable**

A vertical wall, triangular in form, extending to the ridge of a roof.

### **Gablet or Gambrel**

A small gable set on top of a roof not connected to a wall below.

### **Habitable Room**

All living rooms, kitchens, bedrooms, activity rooms and studies.

### **Lot Truncation**

One or more portions of a street front boundary at the intersection of two streets or P.O.S./street alignments.

### **Opinion of the Developer**

Entirely at their discretion, the considered opinion of the developer or their appointed agents.

### **Primary Street (for the purposes of these design guidelines)**

A frontage containing the designated pedestrian access point to the dwelling or a frontage containing both the vehicular access and pedestrian access point to the dwelling.

### **Public Open Space Frontage**

Either a front or side lot boundary directly adjoining public open space.

### **Secondary Street**

A street not providing the pedestrian access point to the dwelling.

### **Street Setback**

A horizontal distance between the street alignment and a building, measured at right angles to the street alignment.

### **25°**

A roof pitch of 24° degrees 43' minutes or greater.

### **Verge**

A roof overhang to a gable or wall.

### **Wing fence**

A fence connecting the side of a dwelling to either side boundary, boundary structure or boundary fence.

## Garden Park Grove Estate Colours and Materials Schedule

**Lot No:** \_\_\_\_\_ **Street:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Builder:** \_\_\_\_\_

<b>Roof</b>	<b>Supplier/Type</b> <i>Required</i>	<b>Colour</b>
Colorbond	N/A	
Tiles		
<b>Main Elevation</b>		
Material 1		
Material 2		
Other Material <i>(if applicable)</i>		
<b>Side and Rear Elevations</b>		
Material 1 - Render		
Material 2 – Face brick		
<b>Garage</b>		

NOTE: This Schedule is required to be completed in full and emailed with your building plans for Developer Approval assessment to [admin@gardenpark.com.au](mailto:admin@gardenpark.com.au)